

Sunrise Development

South Jordan, Utah
Community Structure Plan

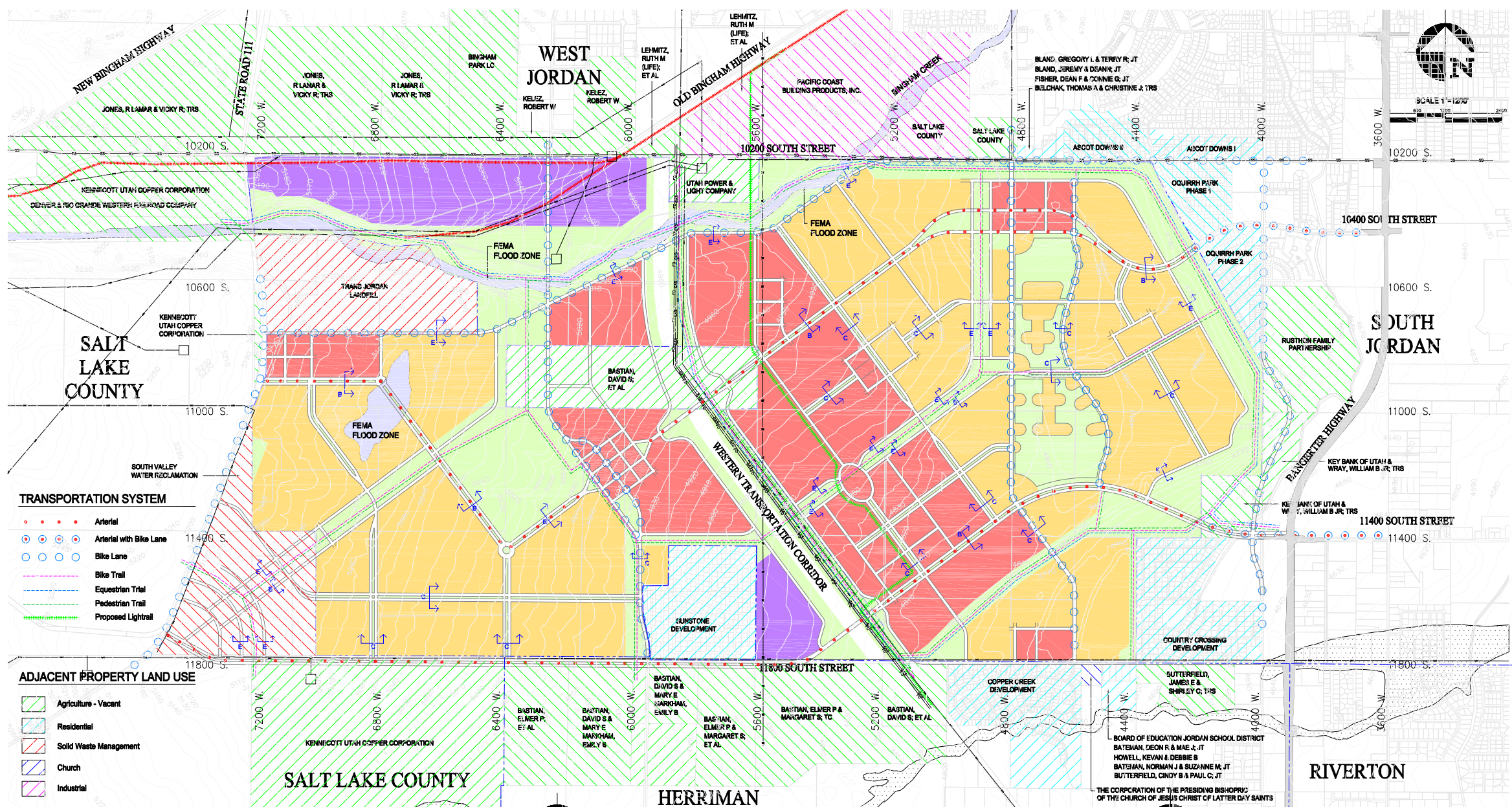
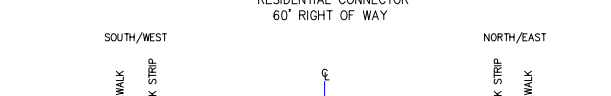
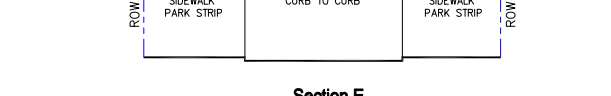
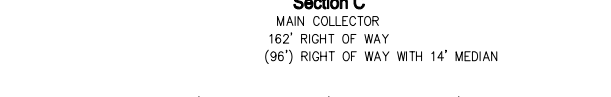
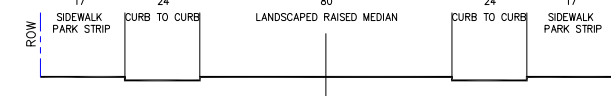
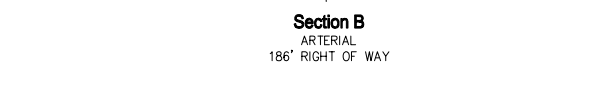
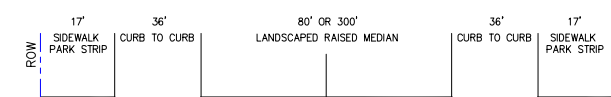
OWNER AND DEVELOPER LAND USE LEGEND

Kennecott Development Company
Chuck Johnson - Real Estate Advisor
5295 South 300 West
Suite 475
Murray, Utah 84107
Phone (801) 743-4824
Fax (801) 743-4859

941.4 AC.	Town
303.2 AC.	Business - Research Parkway
1840.4 AC.	Village
1280.0 AC.	Open Space

PC ZONE PLAN LAND USE TABLE	
June 2007 Amendment	
Total Acres	4,157
Open Space Acres	1,040
Residential Units	20,785
Retail (Square Feet)	2,390,000
Office (Square Feet)	5,185,000
Industrial (Square Feet)	1,500,000

ROADWAY SECTIONS



TRANSPORTATION SYSTEM

- Arterial
- Arterial with Bike Lane
- Bike Lane
- Bike Trail
- Equestrian Trail
- Pedestrian Trail
- Proposed Lightrail

ADJACENT PROPERTY LAND USE

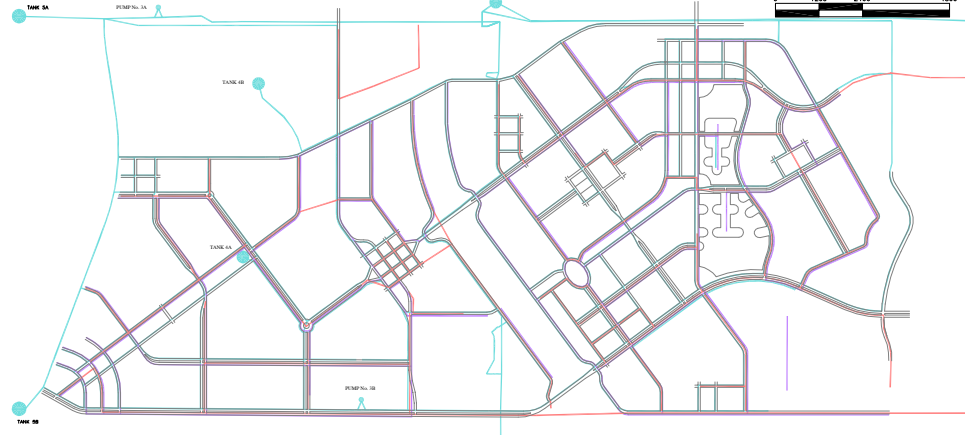
- Agriculture - Vacant
- Residential
- Solid Waste Management
- Church
- Industrial

LEGEND

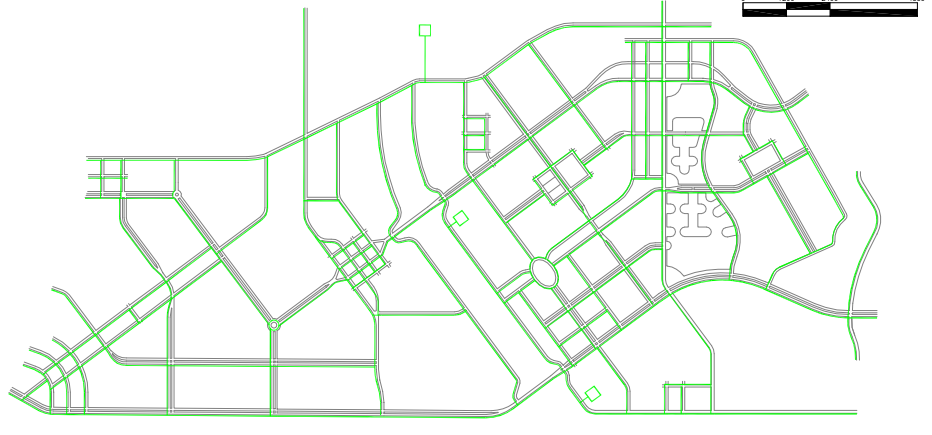
- WATER
- SANITARY SEWER
- STORM DRAIN

LEGEND

- ELECTRIC POWER
- FIBER OPTIC & GAS LINE



Proposed Wet Utilities



Proposed Dry Utilities

PROJECT NOTES

- The street network plan is made up of two (2) main arterials with Major Collectors and Minor Collectors connecting to these arterials throughout the plan. The roadway designs of these street systems are based on UDOT standards for the main arterials and AASHTO standards for the major and minor collectors.
- There is only one existing waterway traversing the site, which is Bingham Creek. Within the West section of the plan there also exists a small FEMA Flood Plain zone.
- Existing major utility easements are located in the following areas:
 - Pacific Corp's primary overhead power distribution lines run North-South through the site at 5800 W. to 5200 W. They included one system rated at 345 KV and a second system rated at 215 KV.
 - Parallel to and situated West the main overhead power lines, is a main high pressure gas line running through the site as well.
 - At 5600 west, running from the South boundary to the North boundary is a Jordan Valley Water Conservancy District 4' 12-inch main sewer line, coming from the West (Copperton) extends along 10200 South from the West boundary to the East boundary of the property.
 - There are various overhead medium voltage power lines running across the site. See the plan view above for location information.
- Secondary water rights for the project's site are associated with right no. 59-5673, owned by Kennecott Utah Copper Corporation, and is equal to 7,500 ac-ft of Jordan River water.
- Open space shown on the plan view will be created to protect the natural features, provide recreational areas and trails, and/or preserve the natural character of the area.
- The proposed major infrastructure includes water, sanitary sewer, storm drainage and street improvements. See the site plans provided.
- The infrastructure systems have been schematically designed, and where possible design flow models have been run, to establish minimum sizing for piping, structures and features for the various systems. As such the systems are currently designed to provide adequate service to the projected land use types as shown on the site plan.
- Other information shown are the projected dry utilities (Power, Natural Gas, Telephone, Data/Comm) routing and facilities.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, OR GEOLOGIST TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY MANNER. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

No.	Revisions	By	Date
3	FINAL ISSUE FOR SOUTH JORDAN APPROVAL	CLR	1/11/02
2	REVISIONS FOR SOUTH JORDAN	CLR	1/03/02
1	ISSUED FOR SOUTH JORDAN APPROVAL	CLR	12/21/01

Project Number	PM
86302000	CLR
Filename	Plot Date
CSP.dwg	1/11/02
Scale	Date Issued
AS SHOWN	1/11/02

Stantec Consulting Inc.
3995 S 700 E Ste. 300
Salt Lake City, UT
84107-2540
Tel. 801.261.0090
Fax. 801.266.1671
www.stantec.com

KDC - Sunrise Development
South Jordan, Utah
Community Structure Plan

Sheet Number
CSP1201

UNOFFICIAL DOCUMENT FOR INFORMATIONAL PURPOSES ONLY. NOT TO BE RECORDED. REFLECTS JUNE 2007 P-C ZONE PLAN LAND USE TABLE AMENDMENTS ONLY.