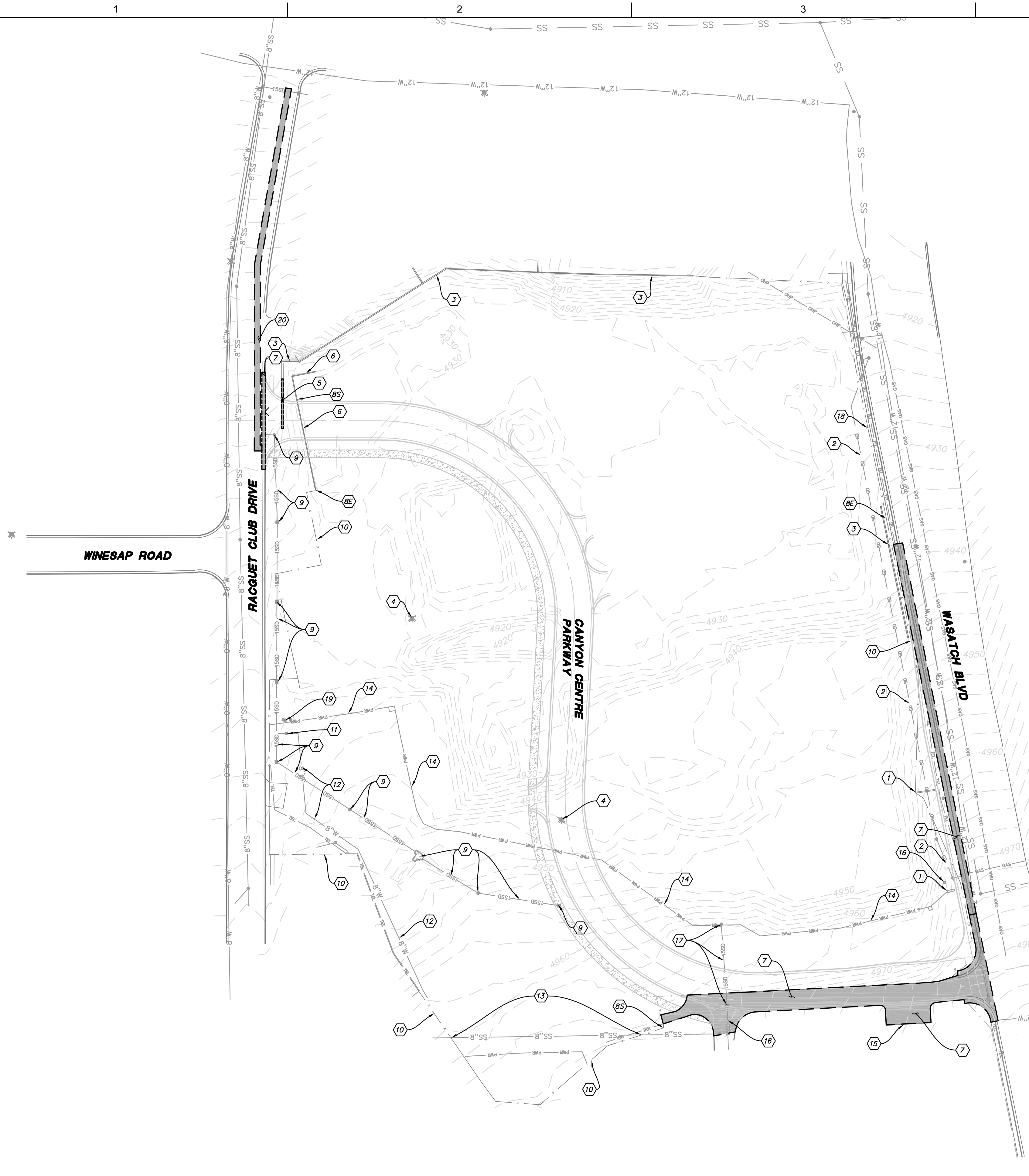


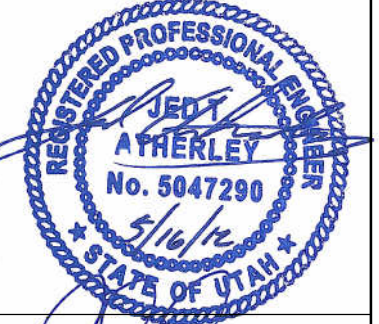
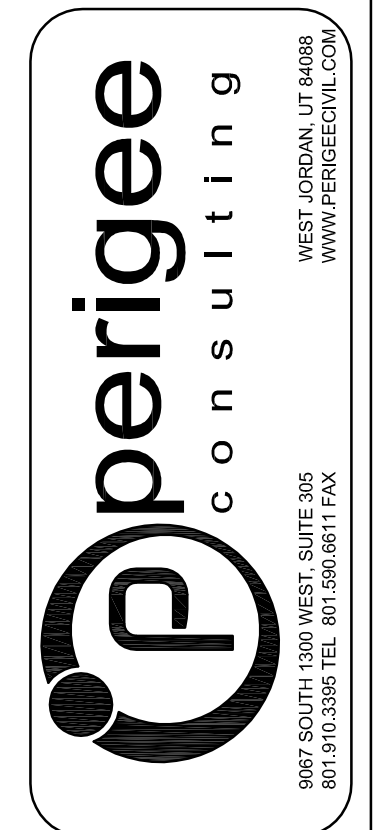
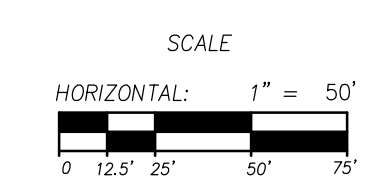
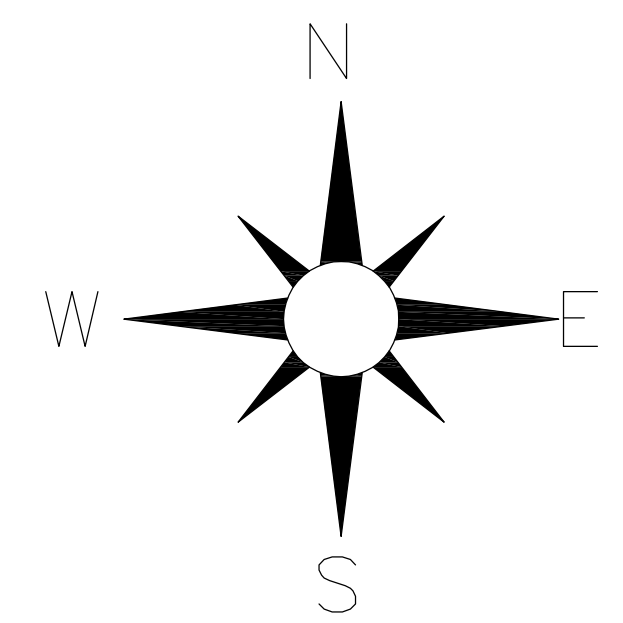
1 2 3 4 5

D
C
B
A



- NOTES**
1. CONTRACTOR TO PROTECT AND PRESERVE EXISTING IMPROVEMENTS, UTILITIES AND SIGNS UNLESS OTHERWISE NOTED.
 2. THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS, WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO BEGINNING CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 4. CONTRACTOR TO CALL BLUE STAKES AT 1-800-662-4111 48 HOURS PRIOR TO ANY DEMOLITION WORK OR OTHER EXCAVATION OF ANY TYPE.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAYS, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.

- SCOPE OF WORK**
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS
- 1 PROTECT AND PRESERVE EXISTING SIGN
 - 2 PROTECT AND PRESERVE EXISTING 54" STORM DRAIN, INCLUDING PIPE AND STRUCTURES
 - 3 PROTECT AND PRESERVE EXISTING RETAINING WALL
 - 4 REMOVE AND SALVAGE EXISTING FIRE HYDRANT
 - 5 SAWCUT, REMOVE AND PROPERLY DISPOSE OF EXISTING RETAINING WALL
 - 6 REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE.
 - 7 SAWCUT, REMOVE AND PROPERLY DISPOSE OF EXISTING CURB, GUTTER, SIDEWALK AND ASPHALT. REMOVE A MINIMUM OF 12" OF ASPHALT FROM THE LIP OF GUTTER OR AS NEEDED TO PROVIDE A CLEAN EDGE. ASPHALT PATCH TO BE A MINIMUM OF 4'. SEE DRAWING GNO2 DETAIL F
 - 8S START - REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE AS NEEDED
 - 8E END - REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE AS NEEDED
 - 9 ABANDON EXISTING STORM DRAIN INFRASTRUCTURE
 - 10 PROTECT AND PRESERVE EXISTING FENCE
 - 11 PROTECT AND PRESERVE EXISTING WATER METER VAULT
 - 12 PROTECT AND PRESERVE EXISTING WATER LINE
 - 13 PROTECT AND PRESERVE EXISTING SEWER INFRASTRUCTURE UNTIL NEW SEWER INFRASTRUCTURE HAS BEEN CONSTRUCTED AND ACCEPTED BY CID. AFTER WHICH CAP AND ABANDON SEWER LINE AT PROPERTY BOUNDARIES PER CID STANDARDS AND SPECIFICATIONS. REMOVE AND PROPERLY DISPOSE OF SEWER PIPE.
 - 14 PRESERVE AND PROTECT EXISTING POWER LINE
 - 15 PROTECT AND PRESERVE EXISTING CURB ALONG THE SOUTHERN EDGE OF THE MAIL AREA.
 - 16 PROTECT AND PRESERVE EXISTING STORM DRAIN INFRASTRUCTURE
 - 17 REMOVE AND PROPERLY DISPOSE OF EXISTING STORM DRAIN INFRASTRUCTURE
 - 18 EXISTING NORTH ACCESS - TO BE ABANDONED PENDING ACCESS PERMIT FOR CANYON CENTRE PARKWAY
 - 19 PROTECT AND PRESERVE EXISTING WATER METER FOR CONSTRUCTION WATER. AFTER CONSTRUCTION IS COMPLETE REMOVE AND SALVAGE WATER METER AND KILL WATER LATERAL AT THE MAIN PER SLC PUBLIC UTILITIES STANDARDS.
 - 20 SAWCUT, REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT FOR STORM DRAIN PIPE AND MANHOLE INSTALLATION.



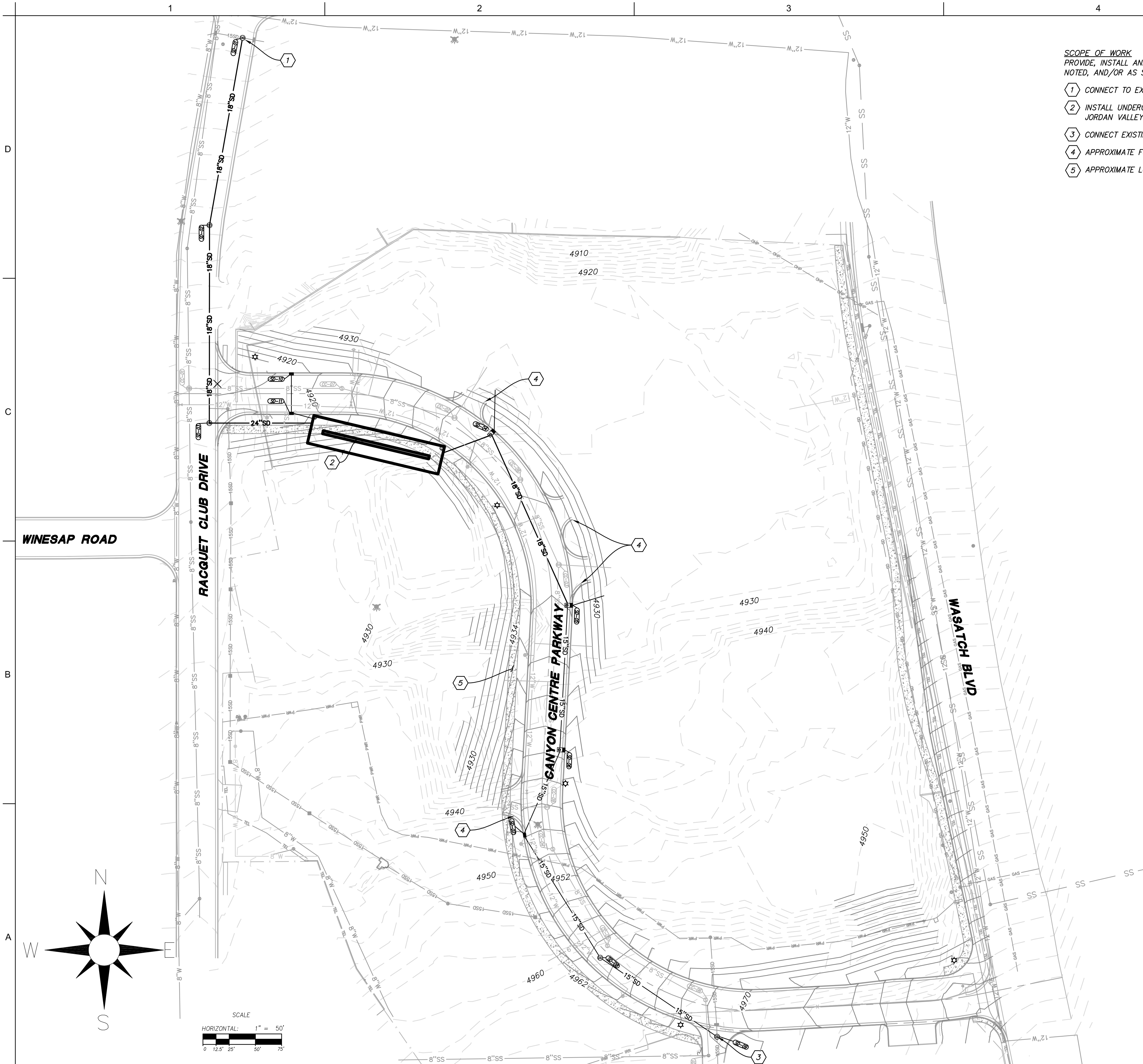
CITY ENGINEER DATE 5-16-12

NO.	DATE	DESCRIPTION	BY	APP.

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CANYON CENTRE
COTTONWOOD HEIGHTS, UT
EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER
4
OF 15 SHEETS
DRAWING NAME
XD01



- SCOPE OF WORK**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS
- ① CONNECT TO EXISTING STORM DRAIN PIPE
 - ② INSTALL UNDERGROUND STORM WATER DETENTION. DETENTION SYSTEM WILL BE MAINTAINED IN ACCORDANCE WITH JORDAN VALLEY'S MUNICIPAL UPDES PERMIT.
 - ③ CONNECT EXISTING CONDOMINIUMS STORM DRAIN TO PROPOSED STORM DRAIN SYSTEM.
 - ④ APPROXIMATE FUTURE CURB RETURN LOCATION, TO BE INSTALLED BY OTHERS
 - ⑤ APPROXIMATE LOCATION OF FUTURE BIKE TRAIL, TO BE DESIGNED AND INSTALLED BY OTHERS

Hydrologic Calculations

	Proposed	Future
Allowable Discharge (ft ³ /s/acre)	0.10	10.90
Area (Acres)	1.17	1.09
Allowable Discharge (ft ³ /s)	0.12	1.09
100 Year Discharge from Offsite (Canyon Racquet Club Condos) (ft ³ /s)	9.16	9.16
Total Allowable Discharge (ft ³ /s)	9.28	10.25
100 Year Computed Discharge (ft ³ /s)	3.50	0.37*
Total Computed Runoff Volume (ft ³)	10,800	89,900
Required Detention Volume (ft ³)	2,850	29,085
Detention Volume Provided (ft ³)	3,160	29,100

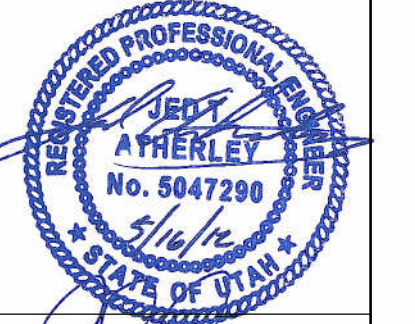
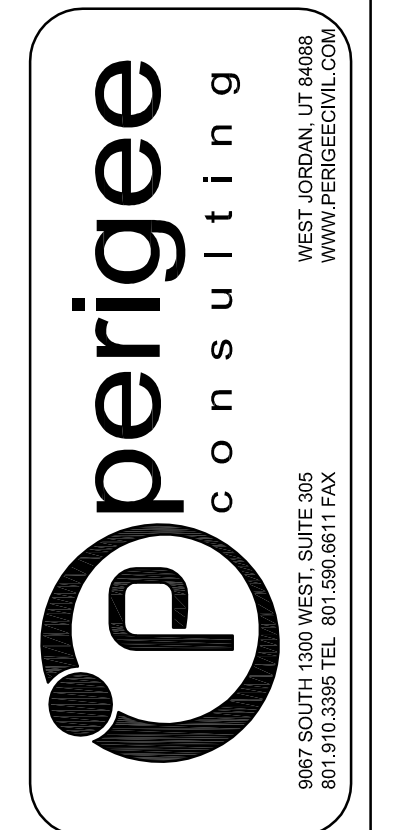
*This discharge is low due to Cottonwood Heights City's requirement to treat not only Canyon Centre development flows, but the Canyon Racquet Club Condominium flows to the 10 year design storm.

FEMA FLOODPLAIN INFORMATION:
 FEMA DFIRM PANEL 49035C0456G SHOWS THE SITE LIES WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LEGEND*:

- ☼ PROPOSED STREET LIGHT
- ☼ PROPOSED FIRE HYDRANT
- ☼ PROPOSED WATER VALVE
- ☼ PROPOSED BLOWOFF ASSEMBLY
- ☼ PROPOSED COMBO AIR VALVE (CAV)
- ☼ PROPOSED WATER METER
- ☼ PROPOSED IRRIGATION POINT OF CONNECTION
- ☼ PROPOSED SEWER MANHOLE TAG
- INSTALL PROPOSED SEWER CLEANOUT
- INSTALL PROPOSED 4" SEWER M.H.
- INSTALL PROPOSED 5" SEWER M.H.
- ▬ INSTALL CATCH BASIN/ DOUBLE GRATE CATCH BASIN PER APWA STANDARD PLAN 315
- ▬ INSTALL COMBINATION INLET/ CLEANOUT BOX PER APWA STANDARD PLAN 316
- INSTALL AMCOR 60" CLEANOUT MH130 & 30" ECCENTRIC CONE MH230 W/30" FRAME & COVER #1180 (ROADWAY) OR SLOTTED INLET GRATE #2670 (LANDSCAPED AREA) PER APWA STANDARD PLAN 302
- INSTALL AMCOR 72" CLEANOUT MH180 & 30" ECCENTRIC CONE MH270 W/30" FRAME & COVER #1180 (ROADWAY) OR SLOTTED INLET GRATE #2670 (LANDSCAPED AREA) PER APWA STANDARD PLAN 302
- ☼ PROPOSED ENERGY DISSIPATER
- ☼ PROPOSED RIP-RAP PAD, SPECIFICATIONS PER PLAN
- ☼ PROPOSED FLARED END SECTION
- ☼ STORM DRAIN BOX TAG
- ☼ EXISTING CATCH BASIN
- ☼ EXISTING COMBINATION INLET/ CLEANOUT BOX
- ☼ EXISTING CLEANOUT BOX

*NOTES: LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN PLAN SET. REFER TO CURRENT EDITION OF APWA STANDARD PLANS REFERENCE DETAILS ON DRAWING NO. D01 THROUGH D12



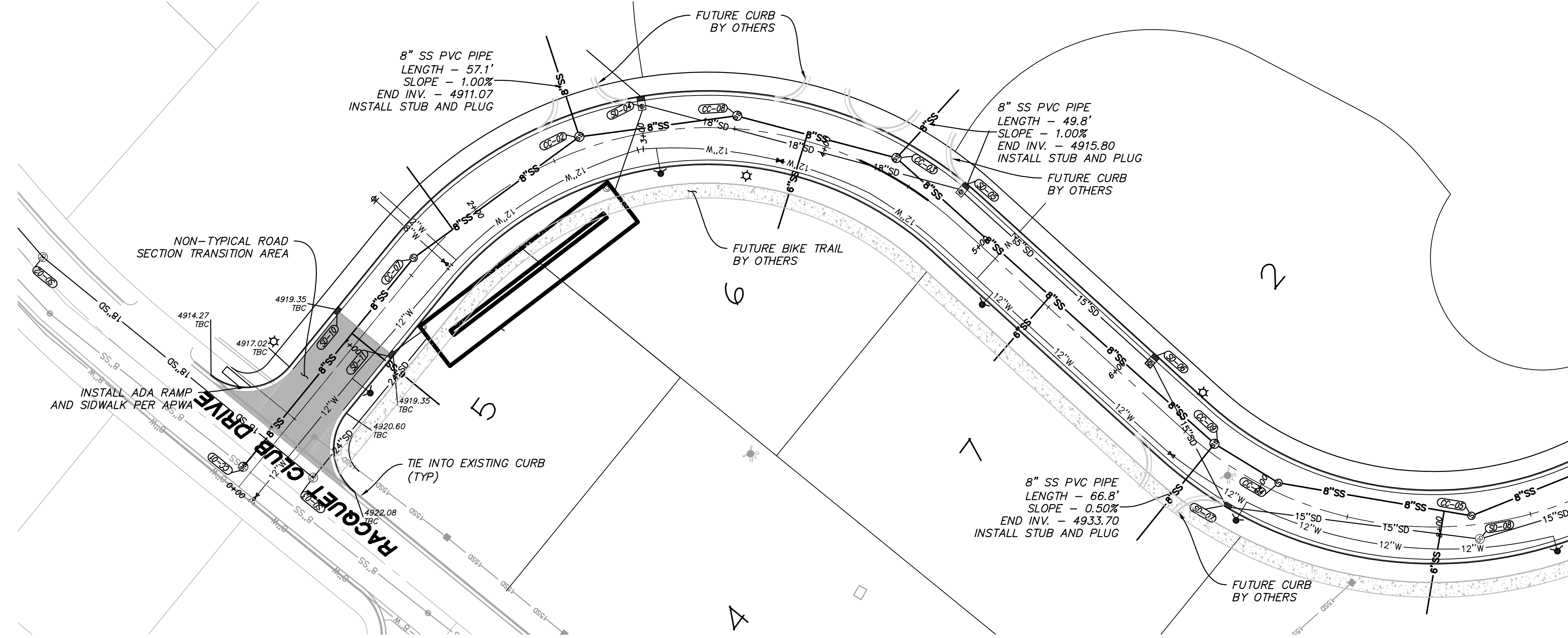
CITY ENGINEER DATE 5-16-12

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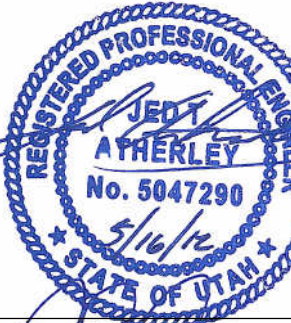
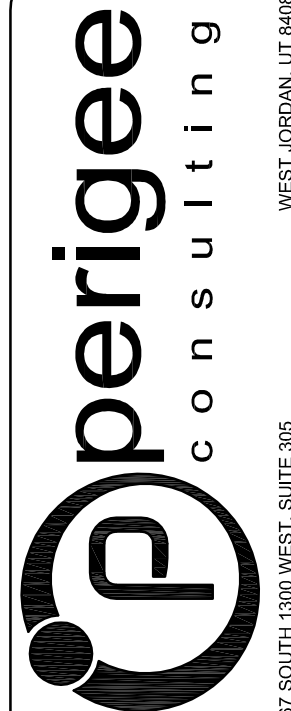
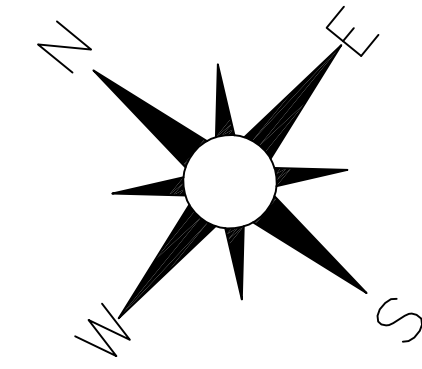
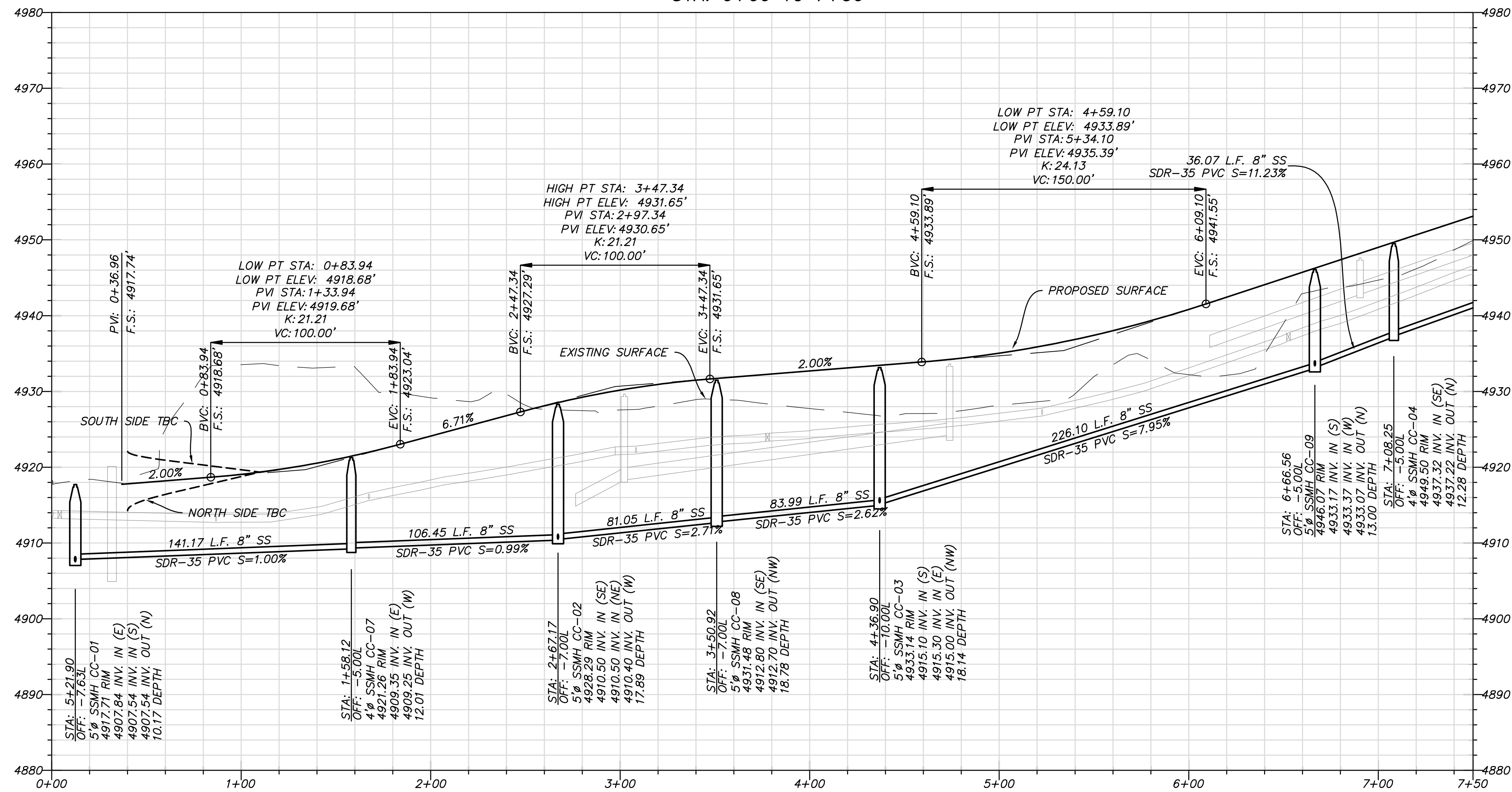
**CANYON CENTRE
 COTTONWOOD HEIGHTS, UT**
 OVERALL GRADING & DRAINAGE PLAN

SHEET NUMBER
 6
 OF 15 SHEETS
 DRAWING NAME
 GR01



CANYON CENTRE DRIVE
STA. 0+00 TO 7+50

GENERAL NOTES
1. SEE SHEET 5 FOR SERVICE LATERAL SIZES



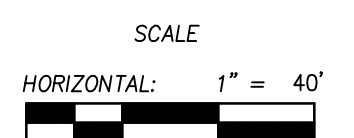
CITY ENGINEER DATE

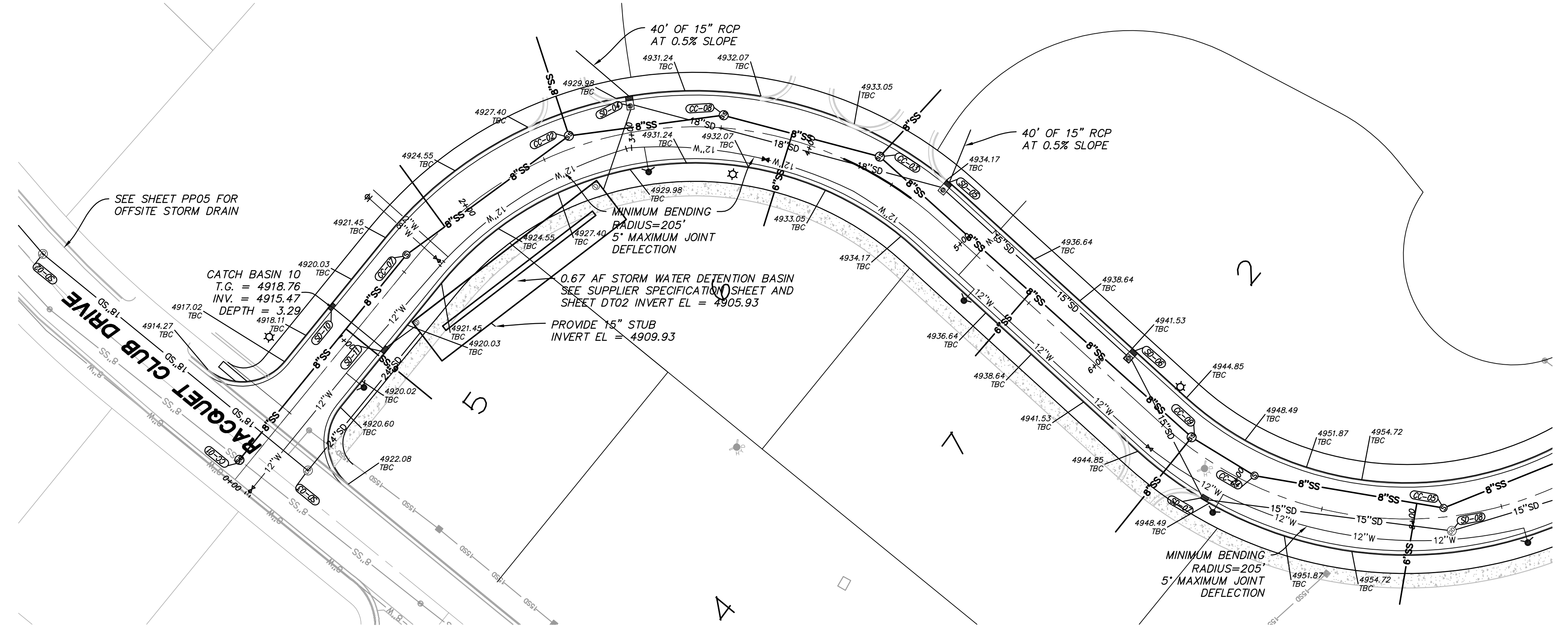
NO.	DATE	DESCRIPTION	BY	APP.

REVISION	DATE	DESCRIPTION

CANYON CENTRE
COTTONWOOD HEIGHTS, UT
PLAN AND PROFILE
ROAD & SEWER

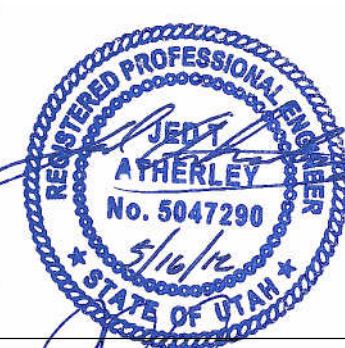
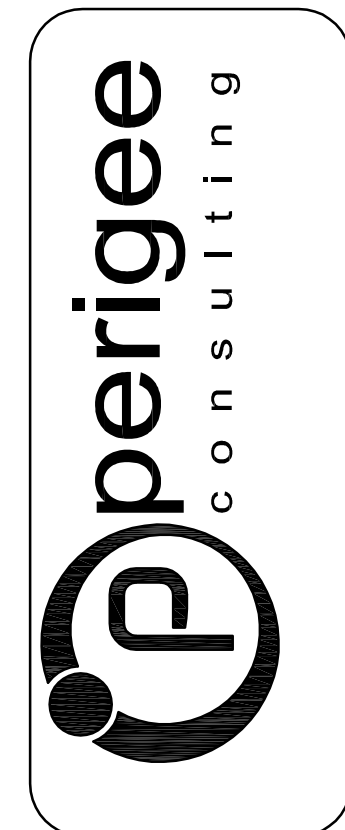
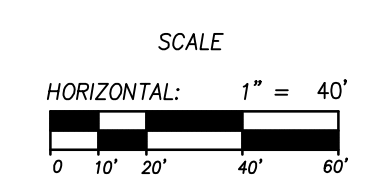
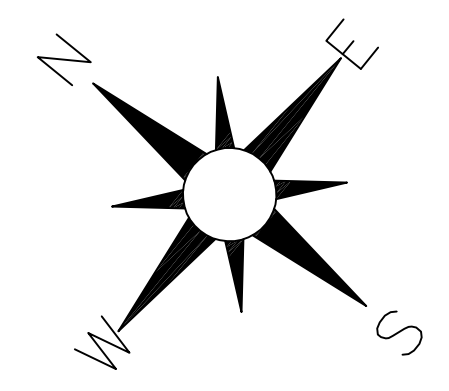
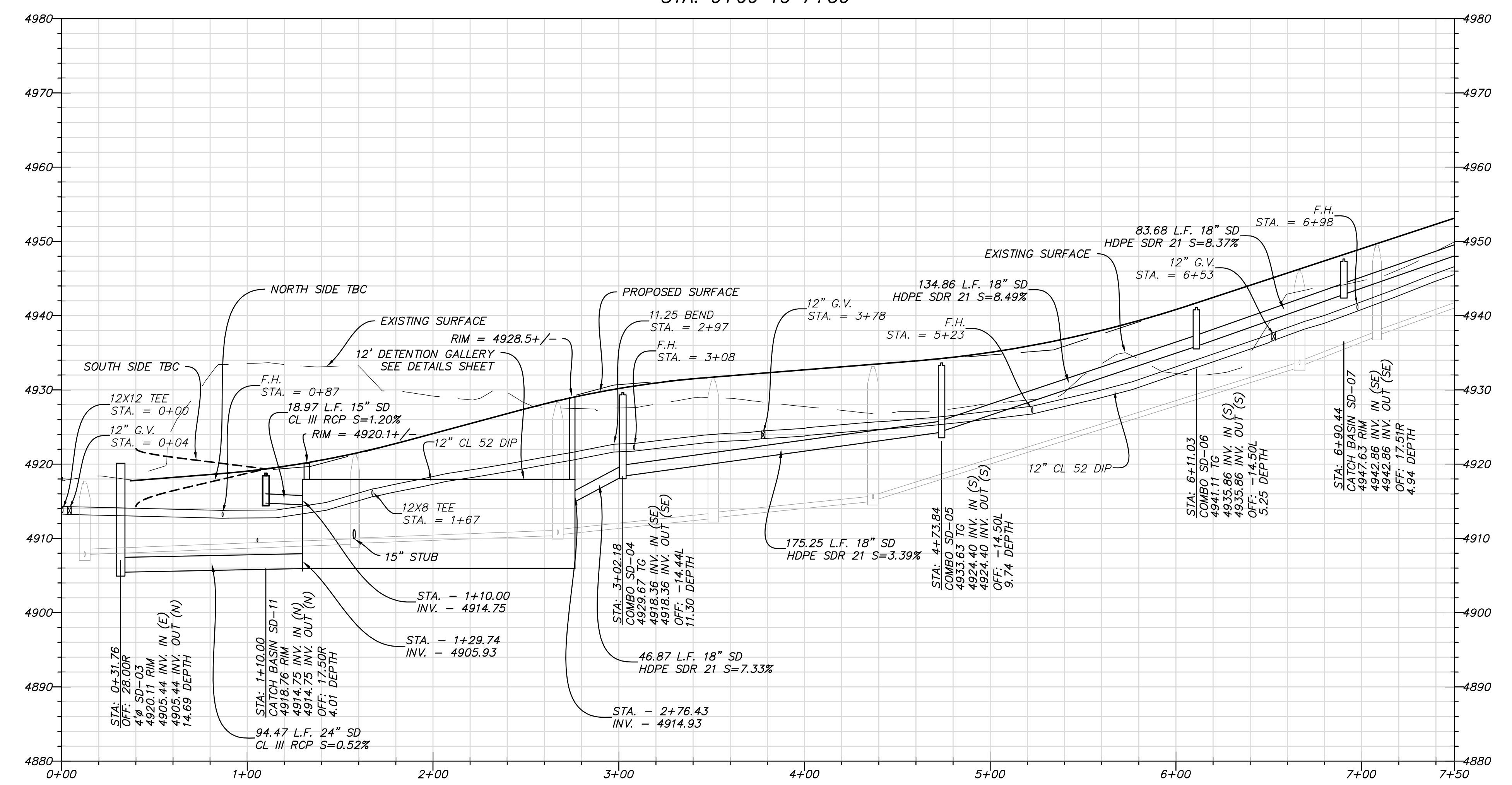
SHEET NUMBER
9
OF 15 SHEETS
DRAWING NAME
PP01





CANYON CENTRE DRIVE
STA. 0+00 TO 7+50

GENERAL NOTES
1. SEE SHEET 5 FOR SERVICE LATERAL SIZES



CITY ENGINEER DATE 5-16-12

NO.	DATE	DESCRIPTION

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CANYON CENTRE
COTTONWOOD HEIGHTS, UT
PLAN AND PROFILE
STORM DRAIN & WATER

SHEET NUMBER
11
OF 15 SHEETS
DRAWING NAME
PP03

